



ALTOSA  
OLIVIA  
OPTIMUM LIVING



The right space, in the right place

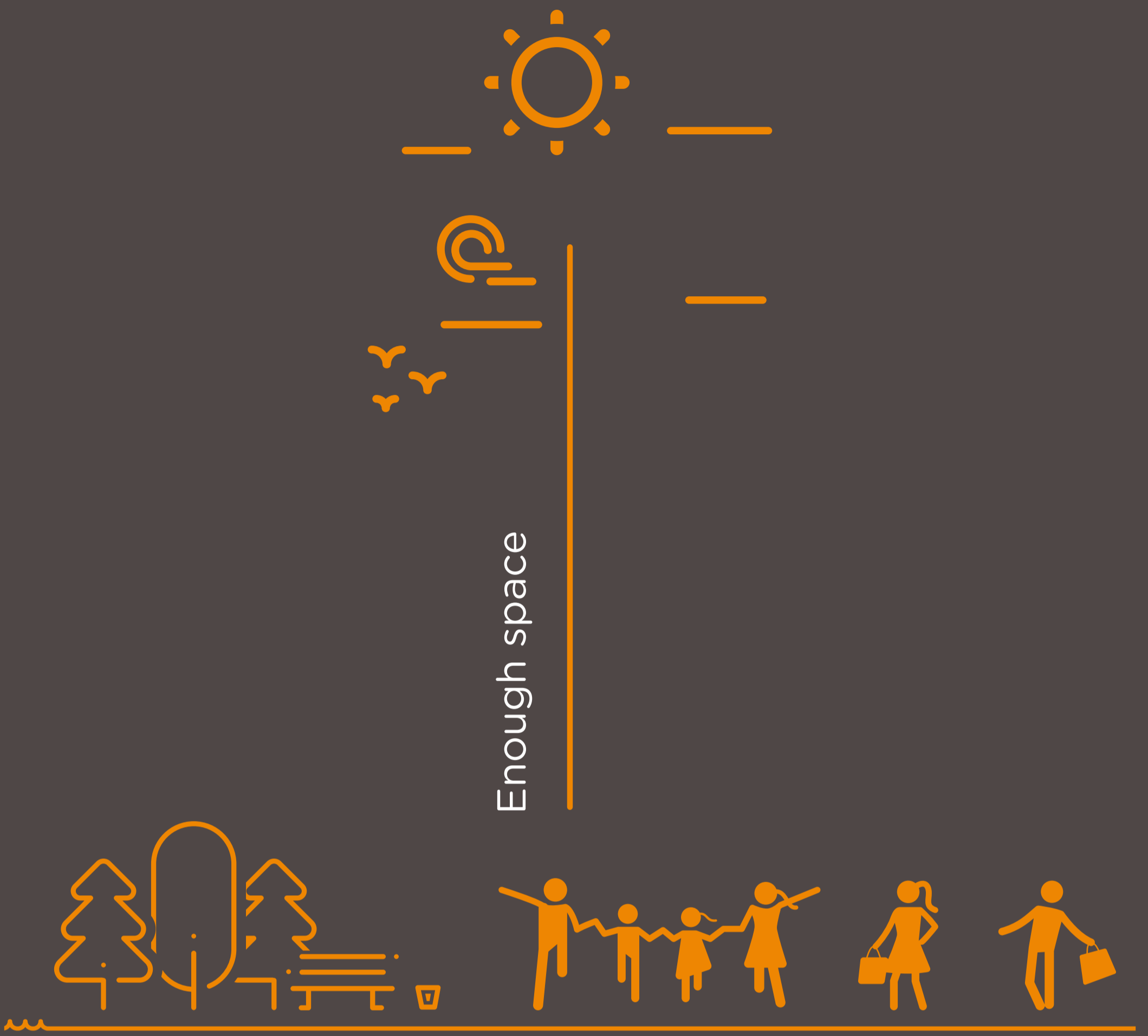
# 3 BHK Flats with Club House • Shops



## Location

Opp. PGVCL (66KV Mavdi Substation),  
Mavdi-Kankot Road, Rajkot - 360 005





3 BHK Flats

1125 Sq. Ft.  
[Approx. Usable Carpet]

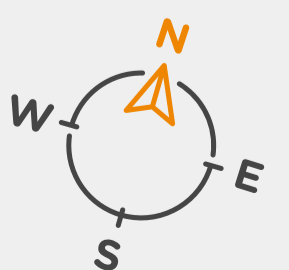
18 Shops



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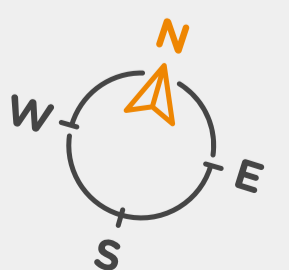
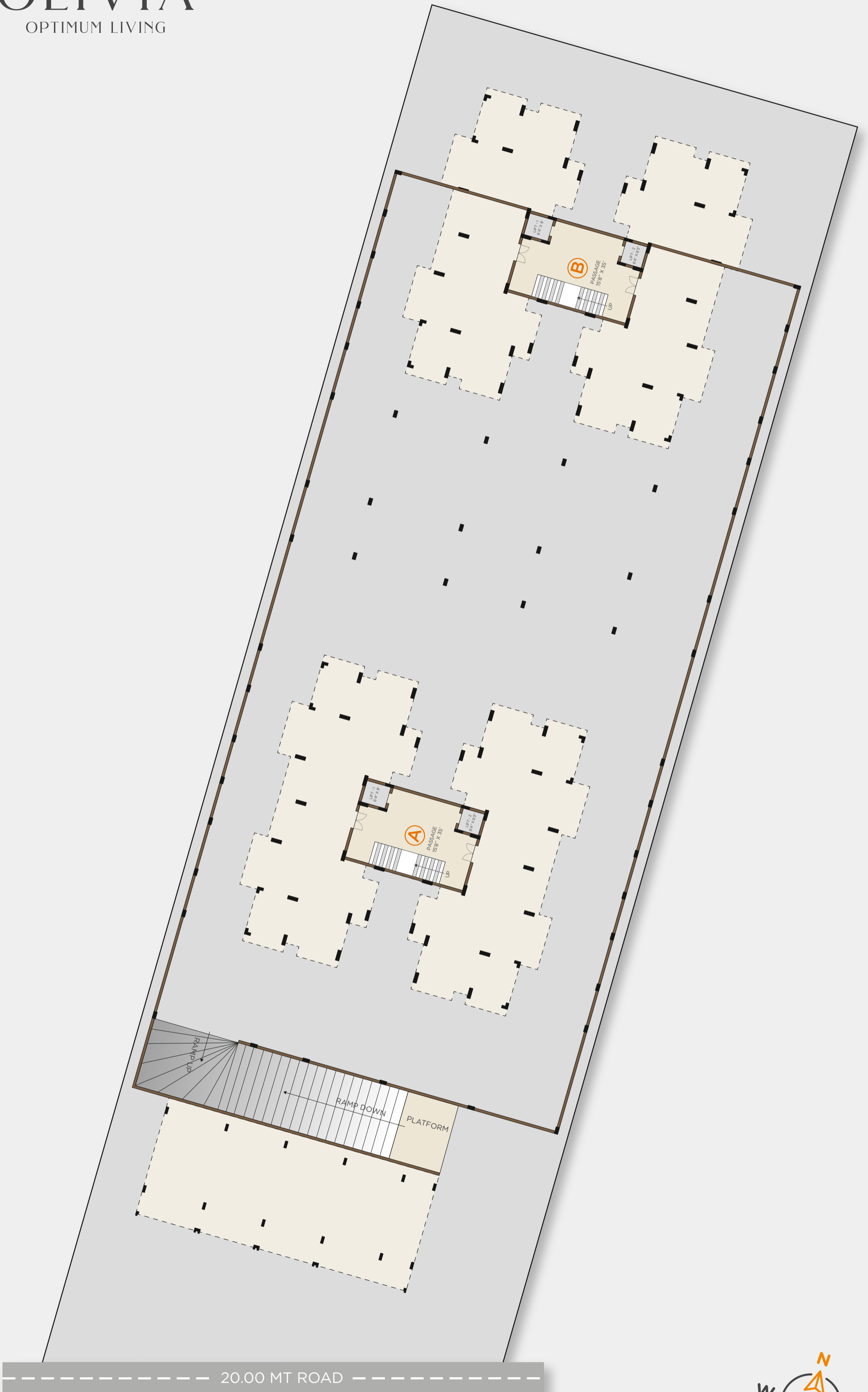
## Master Layout





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# Basement Layout





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3 BHK Flats & Shops

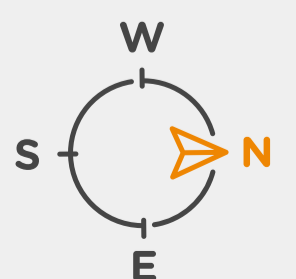
1 Allotted car parking for each flat



No place like home, No place like Altosa Olivia

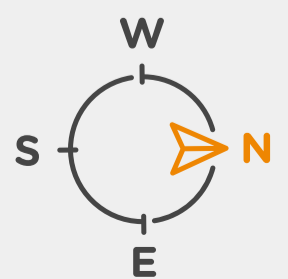
1<sup>st</sup> Floor Layout  
Tower A & B

1125 Sq. Ft.  
[Approx. Usable Carpet]



2<sup>nd</sup> to 14<sup>th</sup> Floor Layout  
Tower A & B

1125 Sq. Ft.  
[Approx. Usable Carpet]







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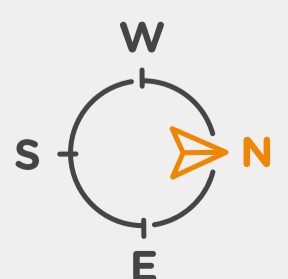


The place where everyone is special



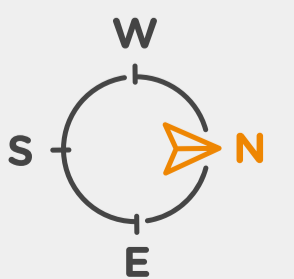
Unit Layout  
Tower A & B

1125 Sq. Ft.  
[Approx. Usable Carpet]



Unit Layout  
Tower A & B

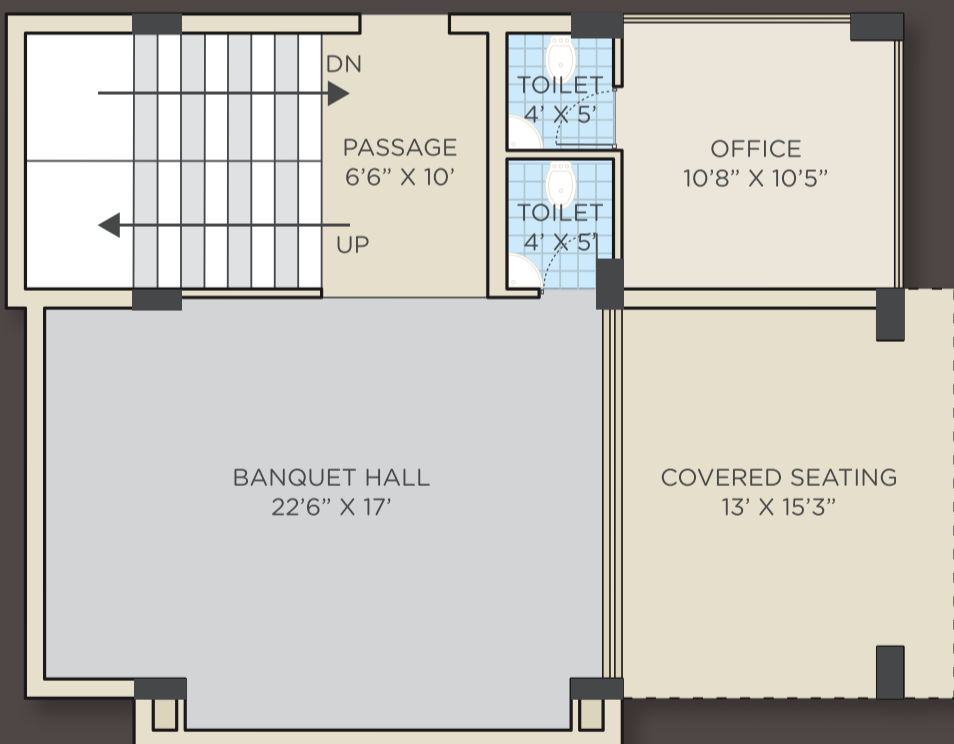
1125 Sq. Ft.  
[Approx. Usable Carpet]



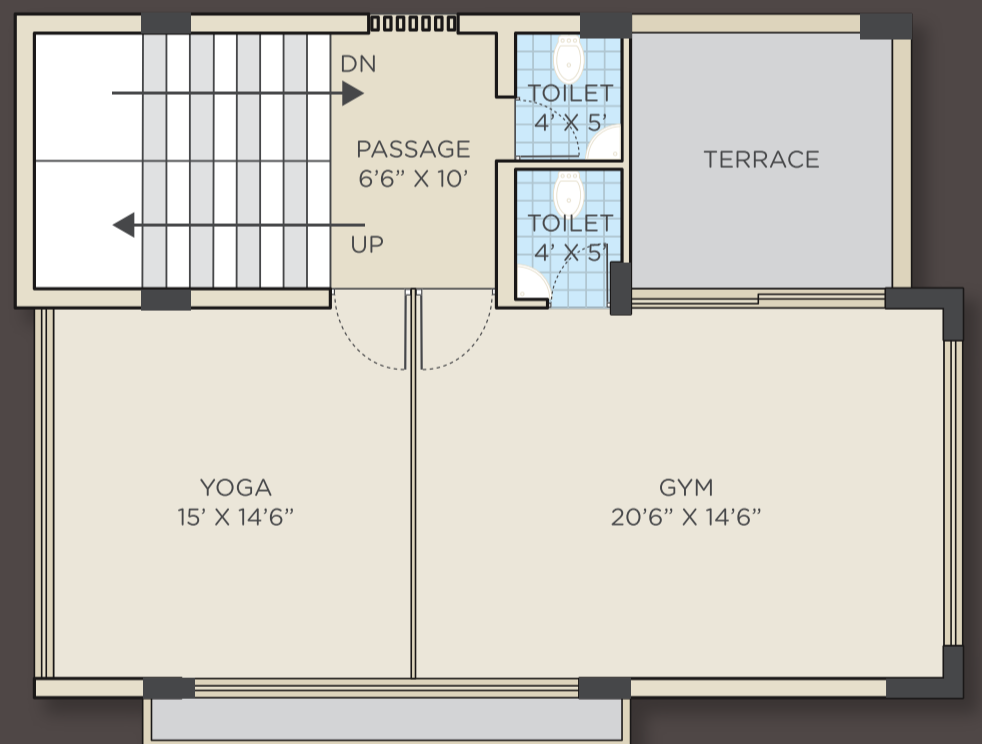
Life changes at  
**Olivia જાનસા ઘર**



Clubhouse Ground Floor Layout



Clubhouse First Floor Layout



**Amenities**

Gym • Indoor games • Banquet hall  
Yoga room • Estate office

**1 Allotted car parking for each flat**



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OLIVIA  
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2 Towers/112 Flats

Basement + Ground Floor + 14 Floors

with an Array of Amenities & Facilities

1 Allotted car parking for each flat

# Amenities & Facilities



1 allotted car parking for each flat



Outdoor seating



Intercom



Gym



Yoga room



Power backup for common areas



Stretcher/Passenger lift



Passenger lift



Security cabin



Indoor games



Estate office



Elegant reception area



CCTV surveillance



Banquet hall



LED lighting



Fire safety system



Grand entrance with boom barrier

A space where life flourishes



# Specifications



## Flooring

Double charged vitrified tiles



## Electricals

Fire retardant copper wiring with modular switches and safety gears



## Water meter

Provision of water meter in each flat



## Paint

Cement putty finish on all internal walls and textured plastic with acrylic paint for external walls



## Kitchen

Granite platform with S.S. sink and provision for chimney and RO filter



## Plumbing

Standard CPVC & UPVC for hot and cold water supply & PVC pipe for drainage system



## Washing area

Separate platform with sink and provision for washing machine and geyzer



## Solar water heater

Common solar heater for each tower



## Sanitaryware and bath fittings

Branded sanitary and bath fittings



## Door

Laminated main door and interior doors without lamination



## Windows features

Aluminium powder coated state-of-the-art section windows with child safety grill and provision of track for insect net



## Lifts

Auto door stretcher/passenger lifts

# Amenities & Facilities

Gym • Indoor games • Banquet hall • Yoga room • Estate office • Outdoor seating • Intercom  
CCTV surveillance • Fire safety system • Elegant reception area • Security cabin  
Grand entrance with boom barrier • Passenger lift • Stretcher/Passenger lift  
Power backup for common areas • LED lighting • 1 Allotted car parking for each flat

### Disclaimer

- Dimensions are indicative and subject to change.
- Developers reserve the rights to amend plans, specifications, elevations or any other details as may be deemed fit in the interest of the project.
- Stamp duty and registration charges would be charged extra.
- Taxes would be charged extra.
- Maintenance deposit would be charged extra.
- Gas, PGVCL, Underground drainage and Water connection charges would be extra.
- Internal and external changes would not be permitted.
- Terrace rights would rest with the developers.
- Any additional FSI at present or in the future would be availed by the developers and no member would claim any right for the same.
- Usable carpet is for presentation only and the actual carpet area may vary. Usable carpet and RERA carpet will not be same.
- This brochure is for information purposes only and doesn't form a part of the agreement or any legal document.

# 18 Shops

Ground Floor: 290 & 242 Sq. Ft.

First Floor: 222 & 273 Sq. Ft.



A place where opportunities abound



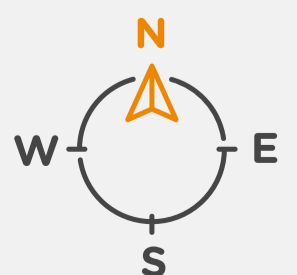
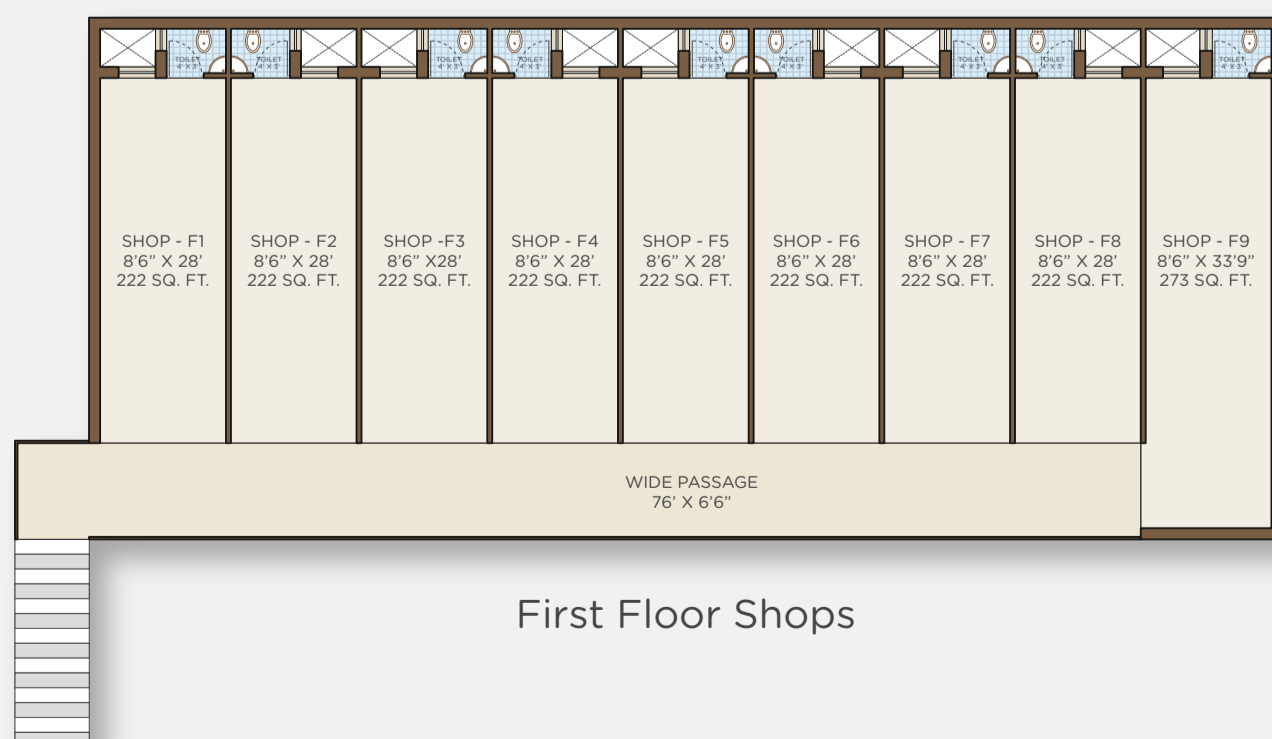
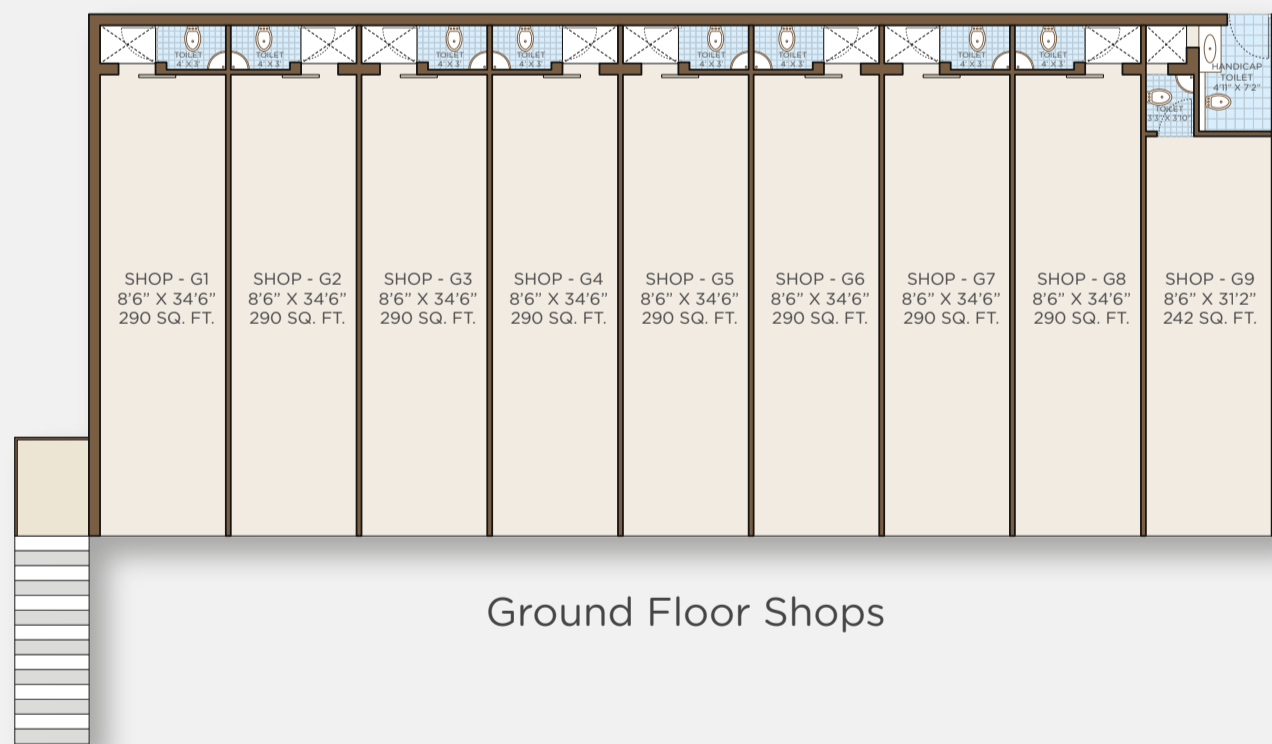
An opportunity space

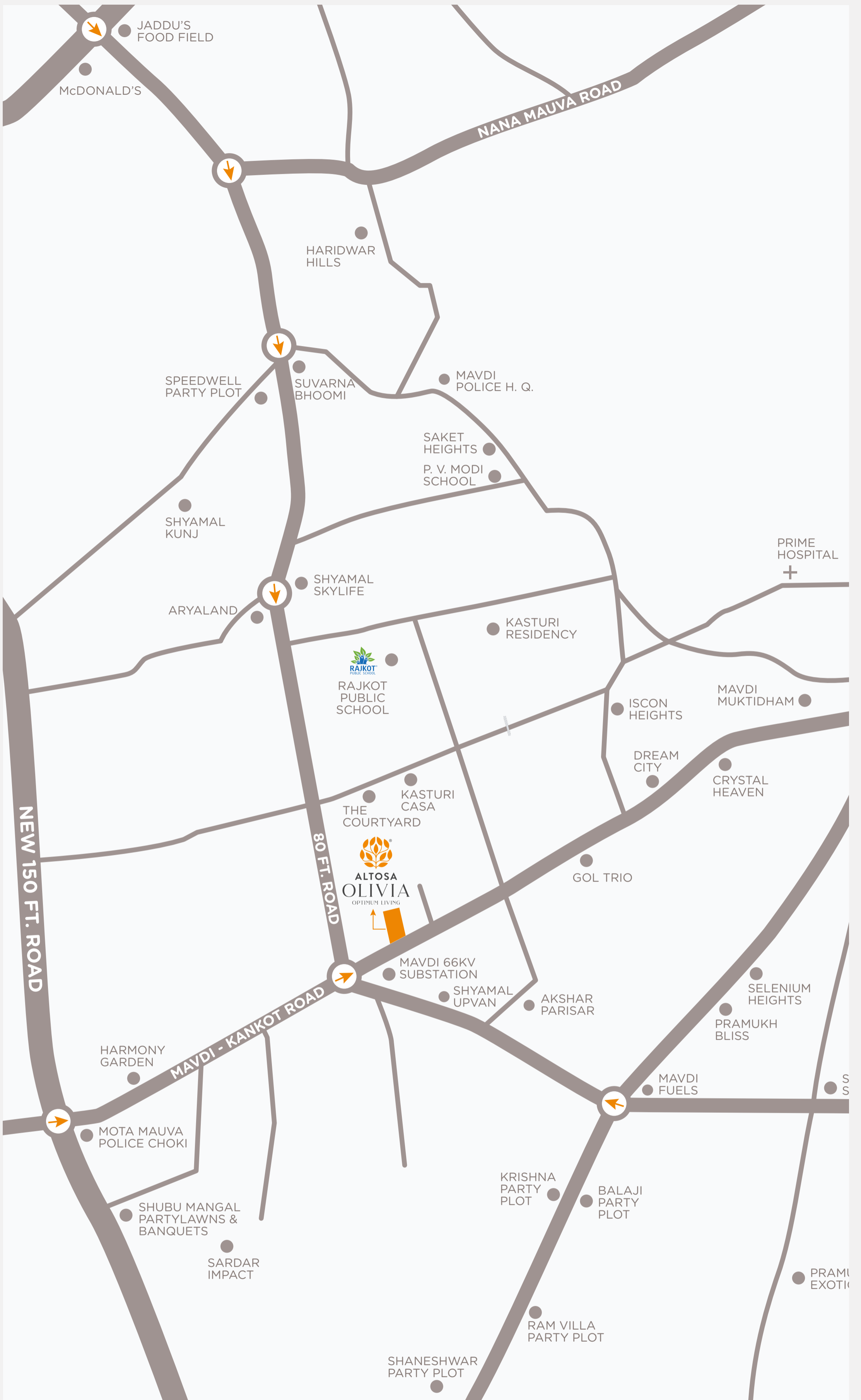






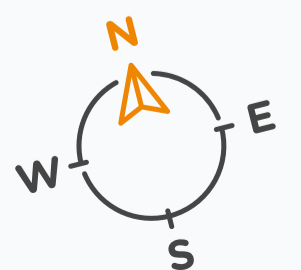
## Commercial





**Location** (Tap to open the project location)

Opp. PGVCL (66KV Mavdi Substation),  
Mavdi-Kankot Road, Rajkot - 360 005





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## Location

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Mavdi-Kankot Road, Rajkot - 360 005

## On-Site Team

Hasmukh Ukani

Sanjay Sakariya

Sagar Sorathiya



99 7 99 63 63 3



Time: 09:00 AM to 07:00 PM

Vicky Arvadia • Nayan Kalariya • Vinod Nayakpara • Suresh Dekivadia  
Bharat Dadhaniya • Girish Kansagara • Jayanti Sakariya

A project by



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